

FOR SALE

*3 Morse Rd
Oxford, CT 06478*



Newer +/- 14,000 SF Industrial/Flex Condominium Unit

Great Manufacturing or Warehouse Facility

+/- 3,000 SF Finished office area on two levels

Top quality high-end construction in a desirable business park setting

18' clear height, 3 docks, 1 drive-in door

Multiple condo units could be sold individually in the future

**Offered at: ~~\$1,249,000.00~~
\$1,100,000.00**

PROPERTY DATA FORM

PROPERTY ADDRESS	3 Morse Rd
CITY, STATE	Oxford, CT

BUILDING INFO		MECHANICAL EQUIP.	
Total S/F	+/-14,000	Air Conditioning	Office
Number of Floors	1	Sprinkler / Type	Yes/Wet
Avail. S/F	14,000	Type of Heat	Gas
Will Subdivide To...	14,000	TAXES	
Avail. Docks	3 docks 1 drive in door	Assessment	\$810,000.00
Ext. Construction	Masonry/metal/stucco	Mill Rate	23.05
Int. Construction		Taxes	\$18,670.50
Ceiling Height	18'	OTHER	
Roof	Metal standing/seam	Total Acres	2.5
Date Built	2008	Zoning	Industrial
UTILITIES		Parking	25 vehicles
Sewer	Yes	State Route / Distance To...	I-84 - 2 miles Route 8 - 5 miles
Water	Yes	TERMS	
Gas	Yes	Sale Price	\$1,100,000.00
Electrical	400 amps 208 volts 3 phase		



All information furnished is from sources deemed reliable and is submitted subject to errors, omissions, change of other terms of conditions, prior sale, lease or financing or withdrawal-all without notice. No representation is made or implied by Godin Property Brokers, LLC or its associates as to the accuracy of the information submitted herein.

ZONE TYPE: CORPORATE
TOTAL AREA: 108,918 SQ.FT.
OR 2.504 ACRES

- LANDSCAPE NOTES:**
1. SEE THE LAYOUT OF PLANTINGS AND TREES FOR THE PROPOSED DEVELOPMENT.
 2. ALL PLANTINGS TO BE INSTALLED WITHIN THE 10% BUFFER ZONE.
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 8. ALL PLANTINGS TO BE INSTALLED WITHIN THE 10% BUFFER ZONE.
 9. ALL PLANTINGS TO BE INSTALLED WITHIN THE 10% BUFFER ZONE.
 10. ALL PLANTINGS TO BE INSTALLED WITHIN THE 10% BUFFER ZONE.

Zoning Data - Corporate

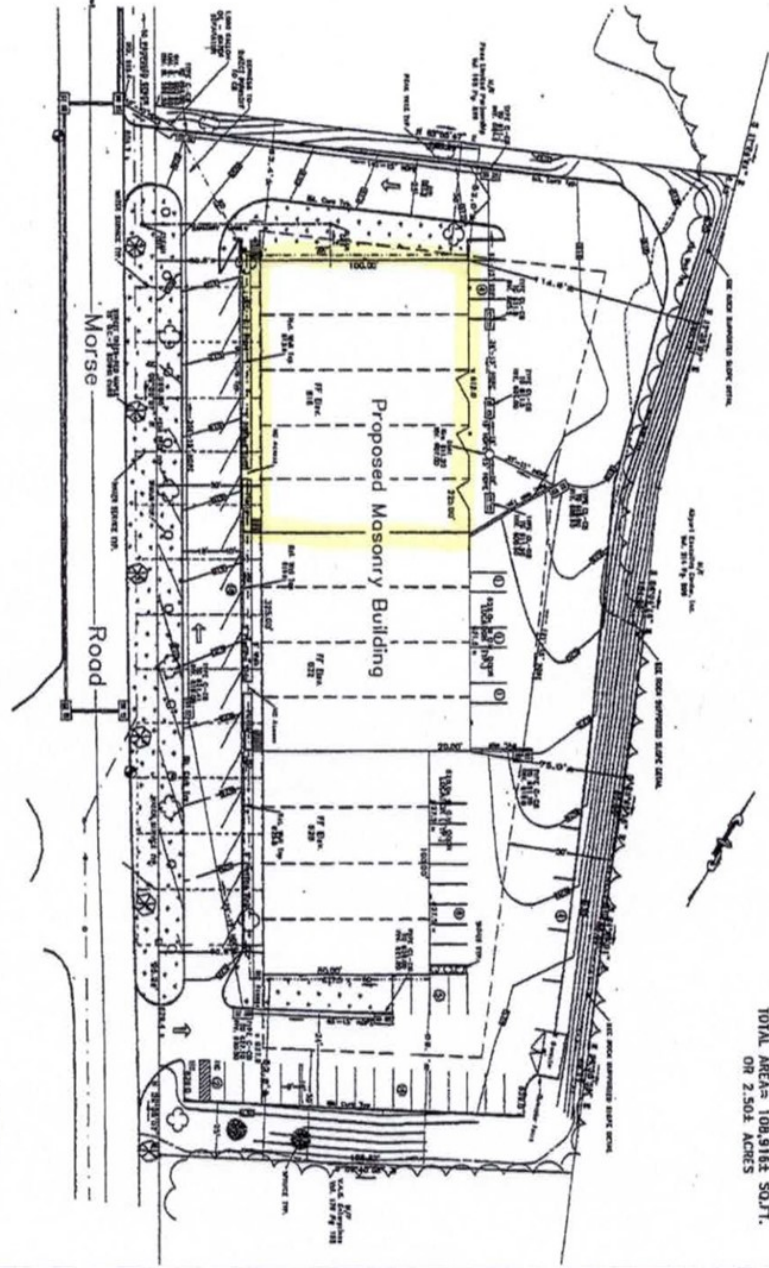
Parameter	Value
Maximum Building Height	35' 0"
Maximum Floor Area Ratio	0.25
Maximum Lot Coverage	10%
Minimum Lot Area	10,000 SQ. FT.
Maximum Lot Area	100,000 SQ. FT.
Minimum Setback	10' 0"
Maximum Setback	20' 0"
Minimum Front Setback	10' 0"
Maximum Front Setback	20' 0"
Minimum Side Setback	10' 0"
Maximum Side Setback	20' 0"
Minimum Rear Setback	10' 0"
Maximum Rear Setback	20' 0"
Minimum Corner Setback	10' 0"
Maximum Corner Setback	20' 0"
Minimum Street Frontage	100' 0"
Maximum Street Frontage	100' 0"
Minimum Street Width	30' 0"
Maximum Street Width	30' 0"
Minimum Right-of-Way Width	30' 0"
Maximum Right-of-Way Width	30' 0"

PARKING TABLE

Category	Minimum	Maximum
Office	1	2
Storage	1	2
Visitor	1	2
Handicapped	1	2
Emergency	1	2
Other	1	2

LEGEND

Symbol	Description
1	Proposed Masonry Building
2	Proposed Parking
3	Proposed Driveway
4	Proposed Walkway
5	Proposed Utility
6	Proposed Fence
7	Proposed Landscaping
8	Proposed Stormwater
9	Proposed Erosion Control
10	Proposed Other



GENERAL NOTES:

1. SEE SHEET FOR PROPOSED DRIVEWAY.
2. SEE SHEET FOR PROPOSED UTILITY.
3. SEE SHEET FOR PROPOSED FENCE.
4. SEE SHEET FOR PROPOSED LANDSCAPING.
5. SEE SHEET FOR PROPOSED STORMWATER.
6. SEE SHEET FOR PROPOSED OTHER.

BENCHMARKS:

1. 2010 BENCHMARK

2. 2010 BENCHMARK

3. 2010 BENCHMARK

SITE PLAN
PREPARED FOR
3 MORSE ROAD, LLC
LOT 100-0000-0000
SCALE: 1" = 30'
SHEET 3 OF 5

