

FOR SALE



*238 Main Street
Woodbury, CT*

Retail Investment Opportunity
16,819 S/F Retail Building
Anchor Tenants Include:
Labonnes Market & Newtown Savings
Great Main Street Location
Offered at: \$4,200,000.00



All information furnished is from sources deemed reliable and is submitted subject to errors, omissions, change of other terms of conditions, prior sale, lease or financing or withdrawal-all without notice. No representation is made or implied by Godin Property Brokers, LLC or its associates as to the accuracy of the information submitted herein.

Godin Property Brokers L.L.C.

★★★★★ Commercial / Industrial



CONTACT: BRIAN GODIN

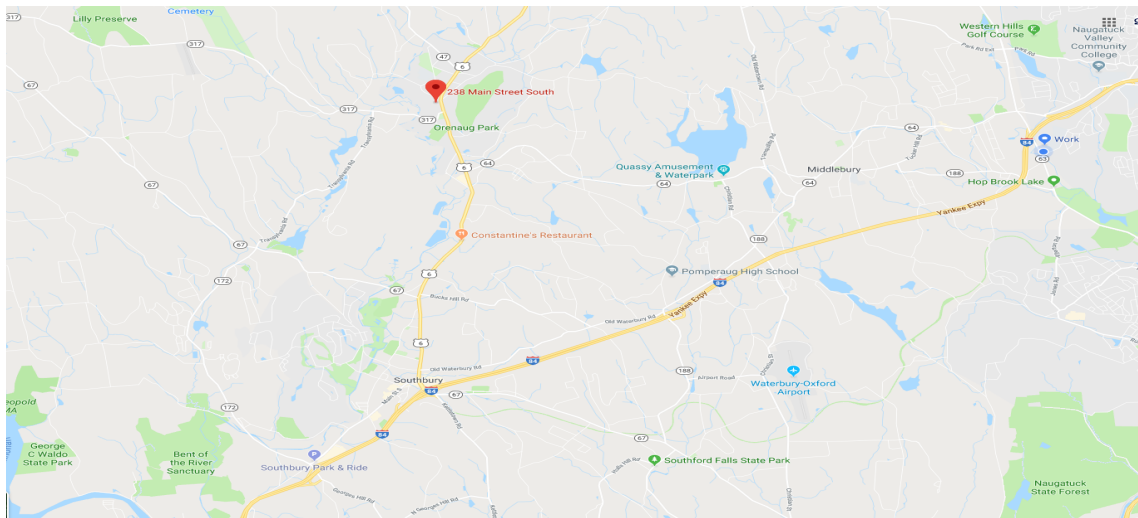
E-mail: BgodinPB@gmail.com

www.GodinPropertyBrokers.com

Phone: 203-577-2277 Fax: 203-577-2100

PROPERTY DATA FORM

PROPERTY ADDRESS		238 Main Street	
CITY, STATE		Woodbury, CT	
BUILDING INFO		MECHANICAL EQUIP.	
Total S/F	16,819	Air Conditioning	Central
Number of floors	2	Sprinkler / Type	
Basement	Full	Type of Heat	Oil / F/A Heat pump
Ext. Construction	Concrete/ Brick	OTHER	
Ceiling Height	8'- 12'	Acres	4.1 Acres
Roof	2009	Zoning	MSD
Date Built	1960	Parking	Ample
		State Route / Distance To...	Ro
UTILITIES		TAXES	
Sewer	Septic	Assessment	\$1,641,530.00
Water	City	Appraisal	\$2,345,044.00
Oil	Yes	Mill Rate	26.58
Electrical		Taxes	\$43,632.00
		TERMS	
		Sale	\$4,200,000.00



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Woodbury Center Inc.
238 Main
Street
Woodbury, CT
Income/
Expense

9/1/2019

Unit	Description	Lease	Expires
Bozzutos	11,712 s/f retail space	\$ 242,055.96	August 2025
	Common Charge	\$ 71,651.54	
Empty	3,240s/f retail space	\$ 48,600.00	Estimating \$15 psf
	Common Charge	\$ 12,000.00	Estimated
Newtown Savings	1,860 s/f retail space	\$ 50,754.00	December 2020
	Common Charge	\$ 12,166.33	
Split Rail	Parking (15 spaces)	\$ 2,025.00	month - month
UPS	Box	\$ 480.00	month - month

Totals	\$ 439,732.83
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Annual Expenses	
Taxes	\$ 35,242.00
Insurance	\$ 11,175.00
Owner Repairs	\$ 3,269.00
Repairs	\$ 7,498.00
Telephone	\$ 131.33
Management Fees	\$ 7,700.00
Office Supplies	\$ 213.58
Utilities - water	\$ 1,885.34
Enviromental Ser- vices	\$ 13,259.19
Pumping Services	\$ 3,871.14
Electric	\$ 3,871.86
Lot Maintanance	\$ 21,570.27
Snow removal	\$ 15,742.00
Alarm Services	\$ 495.00
Professional Ser- vices	\$ 1,000.00
Total Expenses	\$ 126,923.71

Combined Leases	\$ 439,732.83
Minus Expenses	(\$126,923.00)
Net Operating In- come	\$312,809.83
Price: \$4,200,000	CAP Rate 7.4%